



**CITY OF PACIFIC GROVE**

**Community Development Department – Planning Division**

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cedd

**Permit Application**

Application #

AP 17-548

Date:

6/8/17

Total Fees:

5820.<sup>50</sup>

APPLICANT/OWNER:

Project Address: 1342 JEWELL AVE.

APN: 007-031-018

Project Description: deck enlargement and design changes to AP 13-040

Tree Work?  Yes  No

**Applicant**

Name: MARY & MICHAEL CARP

Phone: (650) 947-9261

Email: SAME

Mailing Address: SAME

**Owner**

Name: MARY & MICHAEL CARP

Phone: (650) 947-9261

Email: MARYCARP@AOL.COM

Mailing Address: 316 GALLI CT.  
LOS ALTOS, CA 94022

PLANNING STAFF USE ONLY:

**Permit Request:**

- CRD: Counter Determination
- AP: Architectural Permit
- AAP: Administrative AP
- ADC: Arch Design Change
- ASP: Admin Sign Permit
- SP: Sign Permit
- UP: Use Permit
- AUP: Administrative UP
- ADU: Acc. Dwelling Unit
- LLA: Lot Line Adjustment
- LM: Lot Merger
- IHS: Initial Historic Screening
- HPP: Historic Preservation
- A: Appeal
- TPD: Tree Permit W/ Dev't
- PUU: Undocumented Unit
- VAR: Variance
- MMP: Mitigation Monitoring
- Stormwater Permit
- Other: \_\_\_\_\_

**CEQA Determination:**

- Exempt
- Initial Study & Mitigated Negative Declaration
- Environmental Impact Report

**Review Authority:**

- Staff
- ZA
- SPRC
- ARB
- HRC
- PC
- CC
- \_\_\_\_\_

**Active Permits:**

- Active Planning Permit
- Active Building Permit
- Active Code Violation
- Permit #: \_\_\_\_\_

**Overlay Zones:**

- Butterfly Zone
- Coastal Zone
- Area of Special Biological Significance (ASBS)
- Environmentally Sensitive Habitat Area (ESHA)

**Property Information**

Lot: 596 Block: 314 Tract: R1 ACRES  
 ZC: R1B4 GP: low density to 5400/ac Lot Size: 20,407 SF

- Historic Resources Inventory
- Archaeologically Sensitive Area

**Staff Use Only:**

Received by: WL/HN  
 Assigned to: AA

**\$ PAID**  
5820.50  
6-8-17

JUN 08 2017

CITY OF PACIFIC GROVE  
COMMUNITY DEV DEPT

**CERTIFICATION** – I, the undersigned, under penalty of perjury, depose and certify that I am the applicant for this request, that the property owner approves this application and that all statements contained herein, including all documents and plans submitted in connection with this application, are true and accurate to the best of my knowledge.

I further acknowledge it is my responsibility to determine whether additional permits are required.

Applicant Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Owner Signature (Required): Mary & Michael Carp

Date: 6/6/17

## PROJECT DATA SHEET

Project Address: 1342 Jewell Ave Submittal Date: June 8, 2017  
 Applicant(s): Mr. & Mrs. Michael Carp Permit Type(s) & No(s): AP 17-548

	REQUIRED/ Permitted	Existing Condition	Proposed Condition	Notes
Zone District	R-1-B-4			
Building Site Area	20,000			
Density (multi-family projects only)				
Building Coverage		1386	2,047	
Site Coverage	20%	3,533	3,533	(17%)
Gross Floor Area	5,440	3,041	3,702	
Square Footage not counted towards Gross Floor Area				
Impervious Surface Area Created and/or Replaced			2,455	
Exterior Lateral Wall Length to be demolished in feet & % of total*			52 ft / 9 %	
Exterior Lateral Wall Length to be built			228.5 sf	
Building Height	25'	23'-7"	23'-7"	Chimney @ 25'
Number of stories	2	2	2	
Front Setback	20'	69'-5"	69'-5"	
<u>East</u> Side Setback (specify side)	10'	18'-4"	18'-4"	
<u>West</u> Side Setback (specify side)	10'	67'-0"	60'-2"	
Rear Setback	10'	23'-9"	23'-9"	
Garage Door Setback	20'	70'-7"	70'-7"	
Covered Parking Spaces	1	2	2	
Uncovered Parking Spaces	1	2	2	
Parking Space Size (Interior measurement)	9' x 20'	9' x 20"	9' x 20"	
Number of Driveways	1	1	1	
Driveway Width(s)	12'	13'-7"	12'	
Back-up Distance				
Eave Projection (Into Setback)	3' maximum	0'	0'	
Distances Between Eaves & Property Lines	3' minimum	13'-4"	14'-7"	
Open Porch/Deck Projections				
Architectural Feature Projections				
Number & Category of Accessory Buildings				
Accessory Building Setbacks				
Distance between Buildings				
Accessory Building Heights				
Fence Heights				

\*If project proposes demolition to an HRI structure, also indicate % of proposed demolition of the surface of all exterior walls facing a public street or streets, if applicable.



## CITY OF PACIFIC GROVE

### Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T : 831.648.3183 • F : 831.648.3184 • www.ci.pg.ca.us/cdd

#### ARCHITECTURAL PERMIT AP 17-548

### FOR A PROPERTY LOCATED AT 1342 JEWELL AVE, PACIFIC GROVE, CA 93950 TO ALLOW DESIGN CHANGES FROM ARCHITECTURAL PERMIT 13-040 APPROVED BY THE ARCHITECTURAL REVIEW BOARD MAY 13, 2014

#### FACTS

1. The subject site is located at 1342 Jewell Ave, Pacific Grove, 93950 APN 007-031-018
2. The subject site is approximately 0.46 gross acres.
3. The subject site is developed with one single family residence that was constructed in 1967, prior to the Local Coastal Program Land Use Plan.
4. The property is serviced by the sanitary sewer system.
5. The subject site has a designation of Low Density Residential 5.4 DU/AC on the adopted City of Pacific Grove General Plan Land Use Map.
6. The subject site is located in the R-1-B-4 zoning district.
7. The property is located in the Coastal Zone in Asilomar Dunes Environmentally Sensitive Habitat Area and subject to the Local Coastal Program Land Use Plan.
8. An Archeology Report by Archeological Consulting dated November 29, 2012 concluded that the project area does contain evidence of potentially significant cultural resources.
9. A Biological Assessment Report by Regan Biological and Horticultural Consulting, received December 15, 2012 concluded special status species may be found on the property.
10. A Landscape Restoration Plan by Regan Biological and Horticultural Consulting received October 30, 2013 was prepared for the project.
11. An Initial Study and Mitigated Negative Declaration were prepared and circulated for this project.

#### FINDINGS

1. The proposed development will meet the development regulations set forth in the R-1-B-4 zoning district, including but not limited to heights, parking and setbacks.
2. The Local Coastal Program Land Use Plan (LUP) allows a maximum site coverage of 40% for existing development per Policy 3.4.3 and the proposal conforms to the required site coverage. The site is required to restore the property landscape in accordance with the Landscape Restoration Plan, received October 30, 2013 by Regan Biological and Horticultural Consulting.
3. The architecture and general appearance of the completed project are compatible with the neighborhood because the proposed exterior will be compatible with the size, scale and proportions of the existing residence and other residences in the neighborhood, in that the proposal is consistent with Architectural Review Guidelines Nos 27,28,32, 37;
4. The completed project will neither be detrimental to the orderly and harmonious development of the city nor impair the desirability of investment or occupation in the neighborhood because the project will be improving the subject property, and
5. The Board has been guided by and has made reference to applicable provisions of the Architectural Review Guidelines in making its determinations on single-family residences.

#### PERMIT

Architectural Permit AP 17-548 to allow:

- 1) design changes from Architectural Permit 13-040 approved by the Architectural Review Board May 13, 2014

**CONDITIONS OF APPROVAL**

1. **Permit Expiration.** This permit shall expire and be null and void if a building permit has not been applied for within one (1) year from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.
2. **Construction Compliance.** All construction must occur in strict compliance with the proposal as set forth in the application, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Architectural Review Board approval.
3. **Terms and Conditions.** These terms and conditions shall run with the land, and it is the intention of the CDD Director and the Permittee to bind all future owners and possessors of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made and approved, pursuant to the Zoning Code.
4. **Public Works, Fire and Building.** Review and approval by the Public Works, Fire and Building Departments are required prior to issuance of a building permit. Work taking place in the public right-of-way shall require an encroachment permit prior to issuance of the building permit.
5. **Conformance to Plans.** Development of the site shall conform to approved Architectural Permit plans entitled "Remodel and Additions for: Mr. and Mrs. Michael Carp" dated March 17, 2014, on file with the Community Development Department and to the Building Code, with the exception of any subsequently approved changes.
6. **Tree Protection Standards During Construction:** Pursuant to Municipal Code Chapters 12.20 and 12.30, and the *Urban Forestry Standards*, all trees that are otherwise protected and will be impacted as a result of Development, both proposed for pruning or removal and where the development will impact the critical root zone of the tree are protected. Prior to issuance of the building permit, the Project Arborist shall review grading, drainage, utility, building and landscape plans to determine impacts to individual Trees, to determine required minimum Tree protection standards during construction and submit a report to the City Arborist for review and approval.
7. **Coastal Development Permit.** An approved Coastal Development Permit from the Coastal Commission is required prior to the issuance of building permits.
8. **Exterior Lighting.** Exterior lighting must be full cut off and in compliance with Architectural Review Guidelines Nos. 10, 11, 12.
9. **Archeology.**
  - a. A qualified archaeological monitor shall be present during project excavations. The monitor shall recover cultural materials that may be found in the excavated soil. Soil may be screened through 1/8" mesh to assist in such data recovery.
  - b. If, at any time, potentially significant cultural features are encountered, work shall be halted until the monitor or principal archaeologist can evaluate the discovery. If the feature is determined to be significant, work will remain halted until an appropriate mitigation is developed, with the concurrence of the lead agency, and implemented.
  - c. If, at any time, human remains are identified, work must be halted and the Monterey County Coroner must be notified immediately. If the Coroner determines that the remains are likely to be Native American, the Native American Heritage Commission will be notified as required by law. The designated Most Likely Descendant will provide recommendations for treatment of Native American human remains.

- d. If sufficient quantities of cultural materials are recovered during monitoring/data recovery, appropriate professional analysis of those materials shall be performed. This might include processes including, but not limited to, radiocarbon dating, faunal analysis, and lithic analysis.
- e. Following monitoring and data recovery, a report suitable for compliance documentation shall be prepared. This report shall document the field methodology and findings and make management recommendations.
- f. If analysis of cultural materials is undertaken, a Final Technical Report documenting the results of all scientific studies shall be completed within a year following completion of monitoring and data recovery field work.
- g. Cultural materials recovered during the project shall be processed and curated in the public domain at a suitable research facility. Artifacts shall not be turned over to Native American groups or other special interests unless specifically required under the provisions of the Public Resources Code.

## 2. Biological

- a. **Pre-demolition survey.** The preliminary survey will use cover boards to try and draw out any potential occupying lizards from the patio and driveway and safely relocate them. The project biologist shall notify local California Department of Fish and Wildlife staff prior to the project onset and submit a relocation plan for approval describing the habitat type and the types of lizards that may be found in that habitat. The plan should also include conditions that if black legless lizards are found, the lizards will be translocated to a new location and provide a state Scientific Collectors permit allowing such a plan.

Two days prior to demolition of the existing concrete patio and driveway, the qualified biologist will place a minimum of 2 cover boards (4'x4' or 4'x8' sheets of plywood) on bare ground along the north and east side of the back patio and along the west and east side of the front driveway in the afternoon after all activity has concluded for the day. The boards will remain in place undisturbed overnight.

The following morning before any construction activity begins, the biologist will lift and remove the board and collect and translocate any lizards found under the board. Captured lizards will be kept in a container with a small amount of sand and plant material, similar to their natural habitat. The container shall be kept out of direct sun and covered to prevent escape.

Lizards shall be relocated in similar conditions with suitable cover and plant life no less than 50 feet away from the construction area. Open space with a sporadic cover of Dune scrub plants and Monterey Cypress and Pines occurs directly north of the Carp residence and is considered suitable translocation habitat. Alternatively, the dense restored dune scrub habitat on the State Beach property approximately 400 feet to the west also provides good translocation habitat but requires a letter of permission from the State Park.

The practice of the cover boards will continue for at least one day after the commencement of the demolition of the patio and driveway, and one final survey shall be conducted the following morning.

- b. **Worker Education Meeting.** On the day the patio or driveway demolition begins and before any demolition activity starts, the project biologist shall conduct an educational meeting to explain the purpose of the monitoring, to show the equipment operators what is being monitored and to explain what will happen in the incidence of locating a legless lizard during demolition activities. The project biologist will explain the life history of the legless lizard, why they may be found on the property and what they should do if one is spotted on the project site.

The workers will be shown a photo of a live lizard (if one has been found under the cover board that morning) for visual reference and asked to be prepared to immediately stop demolition activity if a lizard is discovered and wait until the animal is safely removed from the construction zone before restarting.

- c. **Monitoring.** A qualified biologist will monitor all activities during the actual demolition and removal of the back patio and front driveway. This will include briefly searching through the underlying sand after removal of any pieces of concrete or asphalt and inspecting any sand that may be scooped out to prepare for follow-up installation of pavers and pavement. The monitor will have authority to stop the demolition or removal process at any point deemed necessary to salvage and remove a legless lizard.

After the conclusion of patio and driveway demolition and removal, a report by the qualified biologist shall be submitted to the City of Pacific Grove and the California Department of Fish and Wildlife. The report will include details regarding the pre-demolition cover board survey, the worker education material, and the results of the demolition monitoring including whether any lizards were found, how many, what the condition of each found lizard was, and where and when the lizard was translocated.

### 3. **Construction Period**

- a. Pre-construction meeting to review project permits and all environmental compliance requirements.
- b. All activities associated with construction, trenching, storage of materials and disposal of construction wastes and excavated soil will not impact areas protected by fencing. The areas protected by the fence will remain in a trash free condition and not used for material stockpiling, storage or disposal, or vehicle parking. All construction personnel will be prohibited from entering areas protected by fencing.
- c. No construction materials, including but not limited to wood, nails, glass, tile, gravel, paint, cement, joint compound, cleaning solvents or residues from other chemicals, etc will be disposed of on-site. The General Contractor will be responsible for complying with this requirement and will clean up any spills or contaminated ground.
- d. If any excavation spoils (sand only) are generated by the project, they will be disposed of off-site (preferably within the Asilomar Dunes), but not in a way that will negatively affect any existing native vegetation. The proposed location(s) for disposing of excess sand will be reviewed and approved by the City of Pacific Grove and the California Coastal Commission prior to the start of construction.
- e. The Project Biologist will inspect the site daily during any excavation or other ground disturbing activities and no less than one time each week for the duration of the project, to ensure compliance with all provisions for protecting the natural environment. Any activity or condition not in compliance will be brought to the attention of the owner, their representative, the General Contractor, and the City of Pacific Grove, Community Development Department.

- f. A qualified biologist will be retained by the property owner to implement the project's Landscape Restoration Plan, including overseeing and supervising each step of the restoration process.

#### 4. **Post-Construction Period**

- a. Staff of the California Coastal Commission will inspect the project and verify that it conforms to the original permit requirements prior to the City of Pacific Grove proving final building inspection approval and granting of building occupancy.
- b. At the conclusion of all construction and project-related work, and with the concurrence of the Project Biologist, the temporary fence will be removed.
- c. Landscaping will be installed according to the specifications described in the Landscape Restoration Plan and completed within one year of the project receiving final building inspection approval.
- d. No exotic plants or non-local native plants will be planted on the property. Only plants that are listed in the Landscape Restoration Plan will be used on the property.
- e. No exotic plants or non-local native plants will be used in any area that is designated as Immediate Outdoor Living Area (IOLA). The IOLA will remain defined with distinct structural borders that provide a clear boundary between it and the natural habitat.
- f. When installation of the landscape has been satisfactorily completed, the Project Biologist will submit a letter to notify the City of Pacific Grove and the California Coastal Commission, at which time a 5-year monitoring and maintenance program will begin, as described in the Landscape Restoration Plan.
- g. A qualified biologist will be retained by the property owner to monitor the landscape restoration project on an annual basis for at least five years and provide an annual status report to the City of Pacific Grove Community Development Department and the California Coastal Commission.
- h. The native landscape will be maintained as specified in the Landscape Restoration Plan, including removing exotic plants and plating and caring for additional plants if needed.
- i. If the property should change ownership, future owners of the property will have the same obligation for preserving, maintaining and perpetuating the native landscape on the property. To ensure that this objective is achieved over the long-term, the property owner will record an agreement as a deed restriction that all the provisions for restoring and maintain the native landscape on the site will run with and burden title to the property in perpetuity and will bind the property owners and their successors.

- 5. **Mitigation Monitoring Plan.** This permit shall serve as a mitigation and monitoring plan.

#### **NOW, THEREFORE, BE IT RESOLVED BY THE ARCHITECTURAL REVIEW BOARD OF THE CITY OF PACIFIC GROVE:**

- 1. The Board determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Permit.
- 2. The Board authorizes APPROVAL of an Architectural Permit AP 17-548.
- 3. This permit shall become effective upon the expiration of the 10-day appeal period.
- 4. This permit shall not take effect until the owner acknowledges and agrees to all terms and conditions and agrees to conform to and comply with those terms and conditions.

Passed and adopted at a regular meeting of the Architectural Review Board of the City of Pacific Grove on the 18<sup>th</sup> day of July 2017, by the following vote:

AYES:

NOES:

ABSENT:

APPROVED:

\_\_\_\_\_  
Rick Steres, Chair

The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.

\_\_\_\_\_  
Michael Carp, Owner

\_\_\_\_\_  
Date





**CITY OF PACIFIC GROVE**  
 300 FOREST AVENUE  
 PACIFIC GROVE, CALIFORNIA 93950  
 TELEPHONE (831) 648-3190 • FAX (831) 648-3184

**Mitigated Negative Declaration**

The Director of the Community Development Department has reviewed the proposed project described below to determine whether it could have a significant effect on the environment as a result of project completion. “Significant effect on the environment” means a substantial, or potentially substantial, adverse change in any of the physical conditions within the area affected by the project including land, air, water, minerals, flora, fauna, ambient noise, and objects of historic or aesthetic significance.

**Project Title:** 1342 Jewell Avenue, Pacific Grove, CA 93950

**Permit Type:** Architectural Permit AP 13-040

**Project Description:**

The project site is currently developed with a two-story 3,041 square foot (sq. ft.) detached single-family residence on a 20,012 sq. ft. (0.46 acre) parcel. The site is located in the Coastal Zone and in an Archaeologically Sensitive Area. The project proposes to remove 524 square feet of existing second floor decks to facilitate the addition of 661 square feet of living space and 461 square feet of deck space, resulting in a total gross floor area addition of 661 sq. ft. Construction of the additions would require the demolition of approximately 53% of the exterior wall. The Building Coverage (portion fully enclosed by all buildings) would increase from 6.9% to 10.0%. Total Site Coverage (the sum of building and all impervious surfaces) would increase from 17.7% (3,533 sq. ft) to 19.9% (4,000sq. ft.), and the Gross Floor Area would increase from 3,041 sq. ft. to 3,702 sq. ft. Some existing features would be removed or partially replaced including a concrete patio on the western side, a second story wooden deck on the south side, a second story wooden deck on the western side, a stone fireplace on the eastern side, 53% of the total exterior walls, and a driveway on the south side

**Project Location:**

1342 Jewell Avenue, Pacific Grove, Monterey County, CA. Lots 5 and 6, Block 314, Asilomar Dunes Tract. Assessor’s Parcel Number

**APN:** 007-031-018

**FINDING:**

The Director of the Community Development Department finds the project described above will not have a significant effect on the environment in that the attached initial study identifies one or more potentially significant effects on the environment for which the project applicant, has made or agrees to make project revisions that clearly mitigate the effects to a less than significant level.

**MITIGATION MEASURES INCLUDED IN THE PROJCT TO REDUCE POTENTIALLY SIGNIFICANT EFFECTS TO A LESS THAN SIGNIFICANT LEVEL**

- I. AESTHETICS.** The project will not have a significant impact on aesthetics or visual resources, therefore no mitigation is required.
- II. AGRICULTURE AND FOREST RESOURCES.** The project will not have a significant impact on agriculture or forest resources, therefore no mitigation is required.
- III. AIR QUALITY.** The project will not have a significant impact on agriculture or forest resources, therefore no mitigation is required.
- IV. BIOLOGICAL RESOURCES.** The project is located in the Coastal Zone Environmentally Sensitive Habitat Area and in an area common to the California Black Legless Lizard (*Annella pulchra nigra*).

**Impact**

It is possible that the project would have an adverse effect to the local habitat due to a site coverage increase, resulting in a **potentially significant** impact.

**MM-IV-1: The following actions shall be undertaken to reduce potential impacts to the habitat to a less than significant level:**

**A donation of \$0.92 per square foot to re-landscape an area equivalent to the right-of-way adjacent to the property, approximately 1,101 square feet, will be paid at a ratio of 2:1 to the City's Environmental Enhancement Fund (Fund 5) to reduce potential site coverage impacts to a less than significant level.**

**Impact**

It is possible that the project would have an adverse effect to the California Black Legless Lizard, resulting in a **potentially significant** impact.

**MM IV-2: The following actions shall be undertaken to reduce potential impacts to the black legless lizard to a less than significant level:**

- 1) Pre-demolition survey.** The preliminary survey will use cover boards to try and draw out any potential occupying lizards from the patio and driveway and safely relocate them. The project biologist shall notify local California Department of Fish and Wildlife staff prior to the project onset and submit

**a relocation plan for approval describing the habitat type and the types of lizards that may be found in that habitat. The plan should also include conditions that if black legless lizards are found, the lizards will be translocated to a new location and provide a state Scientific Collectors permit allowing such a plan.**

**Two days prior to demolition of the existing concrete patio and driveway, the qualified biologist will place a minimum of 2 cover boards (4'x4' or 4'x8' sheets of plywood) on bare ground along the north and east side of the back patio and along the west and east side of the front driveway in the afternoon after all activity has concluded for the day. The boards will remain in place undisturbed overnight.**

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**Lizards shall be relocated in similar conditions with suitable cover and plant life no less than 50 feet away from the construction area. Open space with a sporadic cover of Dune scrub plants and Monterey Cypress and Pines occurs directly north of the Carp residence and is considered suitable translocation habitat. Alternatively, the dense restored dune scrub habitat on the State Beach property approximately 400 feet to the west also provides good translocation habitat but requires a letter of permission from the State Park.**

**The practice of the cover boards will continue for at least one day after the commencement of the demolition of the patio and driveway, and one final survey shall be conducted the following morning.**

- 2) Worker Education Meeting. On the day the patio or driveway demolition begins and before any demolition activity starts, the project biologist shall conduct an educational meeting to explain the purpose of the monitoring, to show the equipment operators what is being monitored and to explain what will happen in the incidence of locating a legless lizard during demolition activities. The project biologist will explain the life history of the legless lizard, why they may be found on the property and what they should do if one is spotted on the project site.**

**The workers will be shown a photo of a live lizard (if one has been found under the cover board that morning) for visual reference and asked to be prepared to immediately stop demolition activity if a lizard is discovered and wait until the animal is safely removed from the construction zone before restarting.**

- 3) **Monitoring.** A qualified biologist will monitor all activities during the actual demolition and removal of the back patio and front driveway. This will include briefly searching through the underlying sand after removal of any pieces of concrete or asphalt and inspecting any sand that may be scooped out to prepare for follow-up installation of pavers and pavement. The monitor will have authority to stop the demolition or removal process at any point deemed necessary to salvage and remove a legless lizard.

After the conclusion of patio and driveway demolition and removal, a report by the qualified biologist shall be submitted to the City of Pacific Grove and the California Department of Fish and Wildlife. The report will include details regarding the pre-demolition cover board survey, the worker education material, and the results of the demolition monitoring including whether any lizards were found, how many, what the condition of each found lizard was, and where and when the lizard was translocated.

## V. CULTURAL RESOURCES

The project is located in an area considered highly sensitive for prehistoric resources. Since disturbance of the subsurface layers has previously occurred by previous development, further disturbance could damage as yet unrecorded subsurface resources.

### **Impact:**

Subsurface cultural resources could be uncovered and disturbed during demolition/construction of the proposed project, resulting in a **significant** impact to archaeological materials.

### **Mitigation and Avoidance Measures**

The following project-specific mitigation measures will be implemented during construction to reduce significant impacts to subsurface cultural resources to a **less than significant** level.

**MM V-1** A qualified archaeological monitor shall be present during project excavations. The monitor shall recover cultural materials that may be found in the excavated soil. Soil may be screened through 1/8" mesh to assist in such data recovery.

**MM V-2** If, at any time, potentially significant cultural features are encountered, work shall be halted until the monitor or principal archaeologist can evaluate the discovery. If the feature is determined to be significant, work will remain halted until an appropriate mitigation is developed, with the concurrence of the lead agency, and implemented.

**MM V-3** If, at any time, human remains are identified, work must be halted and the Monterey County Coroner must be notified immediately. If the Coroner determines that the remains are likely to be Native American, the Native American Heritage Commission will be notified as required by law. The designated Most Likely Descendant will provide recommendations for treatment of Native American human remains.

- MM V-4** If sufficient quantities of cultural materials are recovered during monitoring/data recovery, appropriate professional analysis of those materials shall be performed. This might include processes including, but not limited to, radiocarbon dating, faunal analysis, and lithic analysis.
- MM V-5** Following monitoring and data recovery, a report suitable for compliance documentation shall be prepared. This report shall document the field methodology and findings and make management recommendations.
- MM V-6** If analysis of cultural materials is undertaken, a Final Technical Report documenting the results of all scientific studies shall be completed within a year following completion of monitoring and data recovery field work.
- MM V-7** Cultural materials recovered during the project shall be processed and curated in the public domain at a suitable research facility. Artifacts shall not be turned over to Native American groups or other special interests unless specifically required under the provisions of the Public Resources Code.
- VI. GEOLOGY AND SOILS.** The project will not have a significant impact due to geology and soils, therefore no mitigation is required.
- VII. GREENHOUSE GAS EMISSIONS.** The project will not have a significant impact due to greenhouse gas emissions, therefore no mitigation is required.
- VIII. HAZARDS AND HAZARDOUS MATERIALS.** The project will not have a significant impact due to hazards or hazardous materials, therefore no mitigation is required.
- IX. HYDROLOGY AND WATER QUALITY.** The project will not have a significant hydrology and water quality impact, therefore no mitigation is required.
- X. LAND USE PLANNING.** The project will not have a significant land use impact, therefore no mitigation is required.
- XI. MINERAL RESOURCES.** The project will not have a significant impact on mineral resources, therefore no mitigation is required.
- XII. NOISE.** The project will not have a significant noise impact, therefore no mitigation is required.
- XIII. POPULATION AND HOUSING.** The project will not have a significant population and housing impact, therefore no mitigation is required.

**XIV. PUBLIC SERVICES.** The project will not have a significant impact on public services, therefore no mitigation is required.

**XV. RECREATION.** The project will not have a significant impact on recreation, therefore no mitigation is required.

**XVI. TRANSPORTATION/TRAFFIC.** The project will not have a significant traffic impact, therefore no mitigation is required.

**XVII. UTILITIES AND SERVICE SYSTEMS.** The project will not have a significant impact on utilities and service systems, therefore no mitigation is required.

**XVIII. MANDATORY FINDINGS OF SIGNIFICANTS.** With implementation of the mitigation measures above, the project will not substantially reduce the habitat of a fish or wildlife species, be cumulatively considerable, or have a substantial adverse effect on human beings.

**PUBLIC REVIEW PERIOD:**

1. The document was circulated from March 21, 2014 to April 20, 2014 and no comments were received.
2. The Mitigated Negative Declaration was adopted by the Architectural Review Board on May 13, 2014.



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Anastazia Aziz, AICP  
Senior Planner

RECEIVED

OCT 30 2013

CITY OF PACIFIC GROVE  
COMMUNITY DEV DEPT

## Carp Residence Landscape Restoration Plan

### 1. Summary

Mr. and Mrs. Michael Carp have proposed to make a number of revisions to the design of their residence at 1342 Jewell Avenue in Pacific Grove. The remodeling will include a deck that will go out 8' from the existing wall of the southwest side of the house and extending additional structural space underneath that deck on the front side of the house. The posts for the deck will fall within the current "pathway" area that is separated from the surrounding native dune scrub by a 2 foot high "curb". Only 1 post of that deck might fall outside of that area. An addition proposed on the north side of the house is under an existing deck; that entire area is currently paved with concrete and will require no additional excavation or soil disturbance. An existing patio area in the back (north side) of the house will be taken up and replaced with pavers on sand and the existing driveway will be removed and replaced with a compacted DG surface. All remodeled areas are accessible from paved driveway or pathways directly adjacent to the existing structure. Per requirements of the California Coastal Commission all construction projects, whether for new structures or remodeled structures in Coastal Dunes of Pacific Grove require complete native plant restoration of the property it is built or remodeled on.

### 2. Purpose

This Landscape *Restoration Plan* serves as an appendix to the *Carp Residence Biological Assessment July 25, 2013* and provides restoration and habitat enhancement techniques to minimize and mitigate known and potential impacts to sensitive biological resources resulting from the construction project. Through implementation of the Restoration plan, potential impacts to biological resources will be reduced to less than significant levels.

Specific project impacts addressed in this plan include: 1) Minor impacts to disturbed Dune scrub habitat on the Carp property, 2) Potential minor impacts to California Legless lizard habitat.

### 3. Responsible parties

Mr. Carp or his representative shall be responsible for ensuring completion of all required planting, maintenance, and monitoring. In addition Mr. Carp or his representative shall submit copies of the annual monitoring report to the City of Pacific Grove and California Coastal commission.

All planting and maintenance shall be performed by an approved Restoration contractor or Landscaper with extensive experience with California Native Plant horticulture. Said contractor shall be responsible for conducting all site preparation, planting, and maintenance according to the details and specifications provided herein.

A qualified biologist (Approved by the City of Pacific Grove or from the Monterey County list of approved consulting biologists) shall conduct all monitoring and preparation of annual monitoring reports.

#### 4.0 Goals of Restoration plan

An overarching goal of the restoration plan is to return all areas impacted by the House remodel or demolition to conditions similar to what they were pre construction and to achieve no net loss of native habitat.

- 1) Restore Central Dune Scrub vegetation to pre-construction conditions.
- 2) Eradicate majority of non-native grasses and weeds and restore areas using the dominant native species present on project site.
- 3) Prevent invasive non-native plant species from colonizing soil disturbed during construction

#### 5.0 Proposed Restoration Site

The Carp property is approximately one half acre (20,000 square feet) of disturbed Central Dune scrub vegetation. The North and East Sides of the property are planted with Monterey Cypress and Pine to screen from neighboring properties. A small zone along the east side of the driveway and near the house wrapping from the south to the west and north sides is planted with a variety of nonnative, mostly Mediterranean origin plants. The nonnative species will be removed and replaced with native species to match with the other native areas of the property. Any areas disturbed by the construction work will be cleaned up post construction and replanted with native dune scrub species.

#### 6.0 Implementation Plan

##### 6.1 *Planting Stock*

Mr. Carp or his representatives shall be responsible for procuring or growing all container stock and ensuring that all plant materials specified as site specific are produced from site-specific or regionally appropriate (from Monterey to Carmel Highlands) materials (seed, divisions or cuttings). All container stock shall be healthy, pest-, and disease-free. If a specified container type is unavailable or impractical, or a similar size is available, Mr. Carp or his representatives may substitute another container type, provided the substituted container is close to the original in volume and depth.

The number of plants required for the restoration planting is based on the assumption that roots of all existing trees and shrubs in this area will remain intact post construction and weed eradication efforts. Spacing of new plants will be done with existing tree canopy, shrub and perennial distribution, root competition and ultimate mature sizes of plants in mind. An average spacing of approximately 3 feet on center will be applied to all plant species. The Landscape Contractor may adjust quantities based on observed site conditions after all construction and weed control is finished. A list of all plant materials required for the restoration area is provided below in Table 1.



Table 1: Plants for Restoration Areas

Common yarrow	<i>Achillea millefolium</i>	10	3.5" square
California sagebrush	<i>Artemisia californica</i>	20	Stubby cell
Dune sagewort	<i>Artemisia pycnocephala</i>	35	Stubby cell
Coyote brush	<i>Baccharis pilularis ssp. pilularis</i>	10	Stubby cell
Pacific reedgrass	<i>Calamagrostis nutkaensis</i>	15	3.5" square
Beach evening primrose	<i>Camissonia cheiranthifolia</i>	20	Stubby cell
Dune sedge	<i>Carex pansa</i>	75	Stubby cell
Blue blossom	<i>Ceanothus thyrsiflorus var. thyrsiflorus</i>	10	1 gallon
Branching Beach aster	<i>Corethrogyne flaginifolia</i>	30	Stubby cell
Mock heather	<i>Ericameria ericoides</i>	20	Stubby cell
Seaside daisy	<i>Erigeron glaucus</i>	40	Stubby cell
Coastal poppy	<i>Eschscholzia californica var. maritima</i>	50	3.5" square
California coffee berry	<i>Frangula californica</i>	10	1 gallon
Coast Gum plant	<i>Grindelia stricta</i>	20	Stubby cell
Yellow bush lupine	<i>Lupinus arboreus</i>	15	1 gallon
Pink flowered currant	<i>Ribes sanguineum glutinosum</i>	10	1 gallon
Wood mint	<i>Stachys bullata</i>	15	1 gallon

## 6.2 Planting Schedule

All planting for the restoration area shall begin after initial weed control efforts have been completed. Planting shall begin after rains have saturated the soil to at least 4" depth and more rain is expected - typically November 15<sup>th</sup> March 15. For best survival chances all planting should be completed by March 15<sup>th</sup>.

### **6.3 Site Preparation**

The site is relatively free of weed species and will require little weed eradication in preparation for restoration planting. Once all soil disturbance and construction is complete, the Landscape Restoration contractor will conduct weed and exotic landscape plant removal activities under direction from the project biologist and prepare all areas for replanting. No additional soil amendments or fill dirt from outside the local Asilomar Dunes complex will be used on the site.

Irrigation systems are generally not necessary for native plant species appropriately located in a landscape. For a self sustaining, naturalized planting it is contradictory. However, in plantings such as this in close proximity to the residence, it may be beneficial and assist in fire prevention to include a system around the house that can be used occasionally during the summer and fall to keep plants near the structure hydrated for aesthetic and fire retardant purposes.

### **6.4 Planting Methods**

6.4.1 Restoration plants shall be installed according to the 4' average minimum spacing and numbers provided in Table 1. The locations of planting areas are not specified at this time and are open to the discretion of the Landscape Restoration contractor in coordination with the project Biologist based on existing shrubs and trees and results of weed eradication activities.

Container stock shall be planted with the minimum amount of soil disturbance possible to ensure the least amount of exposure of old weed seeds in the soil. Due to the loose sandy conditions, holes should be excavated with narrow trench shovels or tools designed for planting stubby cell leach tubes. Holes just deep enough for the container size shall be excavated and soil temporarily "stored" in a bucket to prevent spreading onto undisturbed areas. Plants should be placed into holes with the top of the root ball flush with the surrounding soil level and carefully firmed into place with the excavated soil then gently watered in.

## **7.0 Maintenance during Monitoring Period**

### **7.1 Maintenance Activities**

#### **Watering**

Container stock and transplants shall be watered by hand or on site irrigation connection if low rainfall conditions threaten plant survival between the winter planting date and May 1<sup>st</sup>. Plants are not expected to require summer water provided all container stock is installed prior to March 15, planted according to specifications, and adequately watered (by hand if necessary) through May 1<sup>st</sup>. However, it is the responsibility of the Landscape Restoration contractor to ensure the plants' survival. Therefore, it

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PO Box 337, Carmel Valley CA 93924- patrick@reganbhc.com

is recommended that the Landscape Restoration Contractor monitor plant performance during spring/summer weed control visits and hand water once every 2 weeks through the first summer *if necessary*. All watering may cease after the start of winter rains the first winter after planting.

### Weed Control

The single most critical aspect to the success of a native plant restoration project is controlling and eliminating weed competition. The goals of weed control on site are to:

- 1) Prevent the spread of invasive non-native species to areas disturbed during construction;
- 2) Reduce or eliminate weed competition with planted stock; and
- 3) Eradicate existing invasive weeds from project site.

Following planting, all restoration areas shall be monitored and weeded for at least three years until success criteria are met. Weeding efforts shall target annual grasses and nonnative shrubs and perennials in the restoration sites.

### **7.2 Maintenance Schedule**

The maintenance period shall begin after planting is completed, and continue for 3 years or until success criteria have been met. Weeding and general plant care maintenance shall be performed by the Landscape restoration contractor on a monthly basis in year 1 and on a quarterly basis in years 2 and 3. If conditions require more frequency in the last 2 years, the Landscape restoration contractor should adapt frequency accordingly. Container stock shall be watered by hand if low rainfall conditions threaten plant survival between the winter planting date and April 1<sup>st</sup>. Due to the small container size of planted stock, necessity for summer watering during the first year should be minimal. However, plant performance should be monitored by the Contractor during spring/summer weed control visits and plants watered once every 2 weeks through the first summer *if necessary*.

### **8.0 Monitoring Plan**

#### **8.1 Intermediate Performance Standards and Final Success Criteria**

Intermediate performance standards for Years one (1) and two (2) and final success criteria for Year three (5) are listed below. It is assumed that while not all plants will survive from the original planting, those that do will grow and mature to normal size and total vegetative cover goals can be met even if some mortality occurs.

#### Intermediate performance standards:

- 1) 85% survival of all container stock combined in fall of Year (1) (the first fall after planting)
- 2) Total non-native species vegetative cover 20% or less in spring of Year one (1); 15% or less in spring of Year two (2).

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Final success criteria:

- 1) 70% survival of all container stock combined in spring of Year 3
- 2) Total non-native species cover 10% or less in spring of Year 3

### **8.2 Monitoring**

All monitoring shall be completed by a qualified biologist from the Monterey County list of approved consulting biologists. Percent cover monitoring shall be performed in the spring. Percent cover of Annual grasses and other nonnative weeds may be visually estimated for each side of the house after searching the entire area thoroughly. Survival/mortality shall be determined quantitatively during fall monitoring in years one, two and three for planted shrubs.

### **8.3 Annual Reports**

In January of each year, the Project Biologist shall submit for review *and* approval annual monitoring reports containing observations and analysis based on the previous year's monitoring visits, to the City of Pacific Grove and the Executive Director of the California Coastal commission, for a total of three (3) years post construction. The first report shall be submitted in the first January after planting and will summarize all planting, weed eradication activities and early monitoring results immediately post construction. Monitoring reports shall include notes from monitoring visits including methods, results, analysis of results, photo documentation, discussion of results relative to performance standards/success criteria, and recommended remedial measures if necessary.

### **8.4 Monitoring Schedule**

Monitoring for all areas shall be performed on a monthly basis in year one (1), on a bimonthly basis in year two (2) and on a quarterly basis in year three (3). If final success criteria are met in Year three (3), all monitoring may cease.

### **9.0 Completion of Mitigation**

Mitigation shall be considered complete once the Year three (3) annual monitoring report has been submitted and all success criteria have been met to the satisfaction of the City of Pacific Grove and California Coastal Commission Executive Director. If the site does not meet final success criteria at the end of the three (3)-year monitoring period, contingency measures shall be implemented (see below) or success criteria modified with approval of the reviewing agencies listed above. Success criteria shall be waived in the event of high plant mortality due to prolonged drought, or other extreme adverse circumstances beyond the project proponent's control.

### **10.0 Contingency Measures**

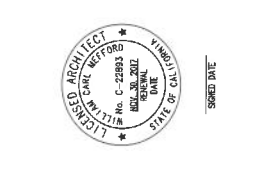
Three years from the date of completion of the project and every ten years thereafter, the project proponent (Mr. Carp or his representative) shall submit for the review and approval of the Executive Director of the California Coastal Commission, a Restoration monitoring report prepared by a qualified

**Regan Biological and Horticultural Consulting LLC,**  
PO Box 337, Carmel Valley CA 93924- patrick@reganbhc.com

specialist that certifies the on-site restoration is in conformance with this approved Landscape Restoration plan along with photographic documentation of plant species and plant coverage. If the restoration monitoring report or Biologists inspections indicate the landscaping is not in conformance with or has failed to meet the performance standards specified in the restoration plan approved pursuant to the Coastal commission permit, the Permittee shall submit a revised or supplemental restoration plan for review and approval by the Executive Director of the Coastal Commission. The revised restoration plan must be prepared by a qualified specialist, and shall specify measures to remediate the portions of the original plan that have failed or are not in conformance with the original plan. These measures, and any subsequent measures necessary to carry out the approved plan, shall be carried out in coordination with the direction of the Executive Director until the measures needed to remediate the failed portion(s) of the original plan are established to the Executive Directors satisfaction.

REVISIONS		
NO.	DATE	DESCRIPTION
△ 9/17/14		BLDG. DEPT.
△ 5/24/16		OWNER REVISIONS

WILLIAM C. MEFFORD  
 ARCHITECT  
 P.O. BOX 1072, PACIFIC GROVE, CA 93950  
 (831) 373-4567 LICENSE # C-22893



REMODEL AND ADDITIONS FOR:  
**Mr. & Mrs. Michael Carp**  
 1342 JEWELL AVENUE  
 PACIFIC GROVE, CA  
 APN 001-031-018

DATE: 2/18/2014  
 PROJECT NO.: 12011  
 DRAWN BY:  
 CHECKED BY:  
 SHEET TITLE: SITE PLAN  
 SHEET NO.: A-1  
 OF TEN SHEETS

### PROJECT DATA

**OWNER:** MR & MRS. MICHAEL CARP  
 316 GALLI COURT  
 LOS ALTOS, CA 94022  
 (650) 941-9261  
**SITE ADDRESS:** 1342 JEWELL AVENUE  
 PACIFIC GROVE, CA  
**AFN:** 001-031-018  
**LEGAL DESCRIPTION:** LOTS 546, BLOCK 314, ASILOMAR DUNES TRACT  
**SITE AREA:** 20,012 SF  
**ZONING:** R-1  
**CONSTRUCTION TYPE:** VB  
**OCCUPANCY GROUP:** R-3 (RESIDENCE) U-1 (GARAGE)  
**STORIES:** 2  
**CODES:** △ 2013 CRC, TITLE 24, 2013 CMC, 2013 CPC, 2013 CEC, 2013 CENC  
 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE.  
**PROJECT SCOPE:** REMOVE 524 SF OF EXISTING 2ND FLOOR DECKS AND ADD 661 SF LIVING SPACE AND 461 SF 2ND FLOOR DECKS TO EXISTING SINGLE FAMILY RESIDENCE. NEW DOORS AND WINDOWS AND REMODEL EXTERIOR AND REMODEL ENTIRE INTERIOR OF EXISTING RESIDENCE.  
**STRUCTURAL ENGINEER:** CHRISTIAN LEE & ASSOCIATES, INC.  
 18 QUAIL RUN CIRCLE, SUITE B  
 SALINAS, CA 93901  
 (831) 424-9200  
**ENERGY CONSULTANT:** MONTEREY ENERGY GROUP  
 26465 CARMEL RANCHO BLVD. #3  
 CARMEL, CA 93923  
 (831) 372-8328

BUILDING AREA:	
1ST FLOOR	902 SF
GARAGE	484 SF
2ND FLOOR	1656 SF
TOTAL EXISTING BUILDING AREA	3041 SF
NEW 1ST FLOOR	661 SF
TOTAL FINAL FLOOR AREA	3702 SF

BUILDING COVERAGE	
ALLOWED	3002 SF (5%)
EXISTING (1ST FLOOR AREA)	1386 SF (6.3%)
PROVIDED (1ST FLOOR AREA)	2047 SF (10.2%)

SITE COVERAGE	
ALLOWED	3002 SF (15%)
EXISTING	1386 SF
BUILDING	1733 SF
DRIVEWAY	654 SF
PATIO & WALK	3113 SF
TOTAL	3702 SF
DRIVEWAY ALLOWANCE IN SETBACK - 240 SF	
GRAND TOTAL	3533 SF (17.1%)

PROVIDED	
BUILDING	2047 SF
DRIVEWAY	124 SF
PATIO & WALK	654 SF
FRONT WALK	138 SF
DRIVEWAY ALLOWANCE IN SETBACK	240 SF
TOTAL	3203 SF (15.8%)
IMMEDIATE OUTDOOR LIVING SPACE	342 SF
GRAND TOTAL	4505 SF (22.5%)

IMPERVIOUS SURFACE CHANGES	
PRE-PROJECT	3113 SF
POST-PROJECT	4203 SF
TOTAL NEW (POST-PRE)	430 SF
REPLACED (DRIVE & PATIO/WALK)	2025 SF
TOTAL NEW & REPLACED	2455 SF

F.A.R.	
ALLOWED	5440 SF
PROVIDED	3702 SF (18.5%)

NO TREE REMOVAL

### DRAWING INDEX

A-1	SITE, DRAINAGE & EROSION CONTROL PLAN, ROOF PLAN, PROJECT DATA	S10	STRUCT. NOTES, SYMBOLS, SCHEDULES, PROJECT DESIGN BASIS, GENERAL INFORMATION
A-2	EXISTING/DEMO FLOOR PLANS, BLDG. DEPT. NOTES	S11	TYPICAL EXTERIOR WALL FRAMING DETAIL, 2013 CBC FASTENING SCHEDULE
A-3	PROPOSED FLOOR PLANS	S12	SHEATHING & SHEAR WALL SCHEDULE, ACI STANDARD REBAR HOOK SCHEDULE
A-4	EXISTING ELEVATIONS	S13	TYPICAL DETAILS
A-5	EXISTING ELEVATIONS	S14	TYPICAL DETAILS
A-6	DETAILS, SECTIONS	S15	SHEAR TRANSFER DETAILS
A-7	SCHEDULES, CAL GREEN CHECKLIST	S20	FOUNDATION PLAN, SPECIFIC DETAILS
A-8	MEP PLANS	S21	2ND FLOOR FRAMING PLAN, SPECIFIC DETAILS
T-1	TITLE 24 CALCULATIONS	S22	ROOF FRAMING PLAN, SPECIFIC DETAILS
M01	NOTES	S30	SPECIFIC DETAILS
M21	1ST FLR. RADIANT HEATING PLAN	S90W	STEEL STRONG WALL DETAILS AND SCHEDULES
M22	2ND FLR. RADIANT PANEL & TUBING LAYOUT	S90W	STEEL STRONG WALL DETAILS AND SCHEDULES
M61	PIPING SCHEMATIC		
M62	CONTROLS SCHEMATIC		
M63	DETAILS		
M64	ECO-WARM INSTALLATION DETAILS		
M65	HEATING SOURCE VENTING		

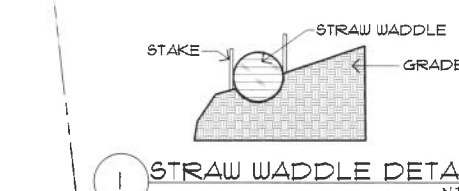
NOTE - THE BUILDING(S) AND ATTACHED GARAGE SHALL BE FULLY PROTECTED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM. THE FIRE SPRINKLER PLAN IS A DEFERRED SUBMITTAL. DRAWINGS AND SUPPORTIVE CALCULATIONS FOR THE RESIDENTIAL FIRE SPRINKLER SYSTEM ARE REQUIRED TO BE SUBMITTED BY THE INSTALLING LICENSED FIRE SPRINKLER CONTRACTOR TO THE MONTEREY FIRE DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.  
 NOTE - PRIOR TO ROUGH FRAMING INSPECTION A SEWER LATERAL REPORT WILL BE SUBMITTED ON THE CONDITION OF THE SEWER LATERAL, IF IT IS NOT IN MAINTENANCE FREE CONDITION, IT WILL HAVE TO BE REPLACED.

### GRADING/EROSION CONTROL NOTES

- NO EARTH OR ORGANIC MATERIAL SHALL BE DEPOSITED OR PLACED WHERE IT MAY BE DIRECTLY CARRIED INTO A STREAM, MARSH, SLOUGH, LAGOON, OR BODY OF STANDING WATER.
- ALL DISTURBED AREAS NOT RECEIVING LANDSCAPING TO BE PLANTED WITH PERMANENT PLANTING OF NATIVE OR NATURALIZED DROUGHT RESISTANT SPECIES OF SHRUBS, TREES, OR OTHER VEGETATION, PURSUANT TO THE COUNTY'S LANDSCAPE CRITERIA, WHEN THE PROJECT IS COMPLETED.
- ALL DISTURBED SURFACES SHALL RECEIVE TEMPORARY PLANTING SUCH AS RYE GRASS, SOME OTHER FAST-GERMINATING SEED, AND MULCHING WITH STRAW AND/OR OTHER SOPE STABILIZATION MATERIAL.
- ALL FILL AREAS TO BE COMPACTED TO 90% COMPACTION.
- ALL CUT AND FILL SLOPES TO BE 2:1 OR FLATTER.

### WINTER GRADING NOTES

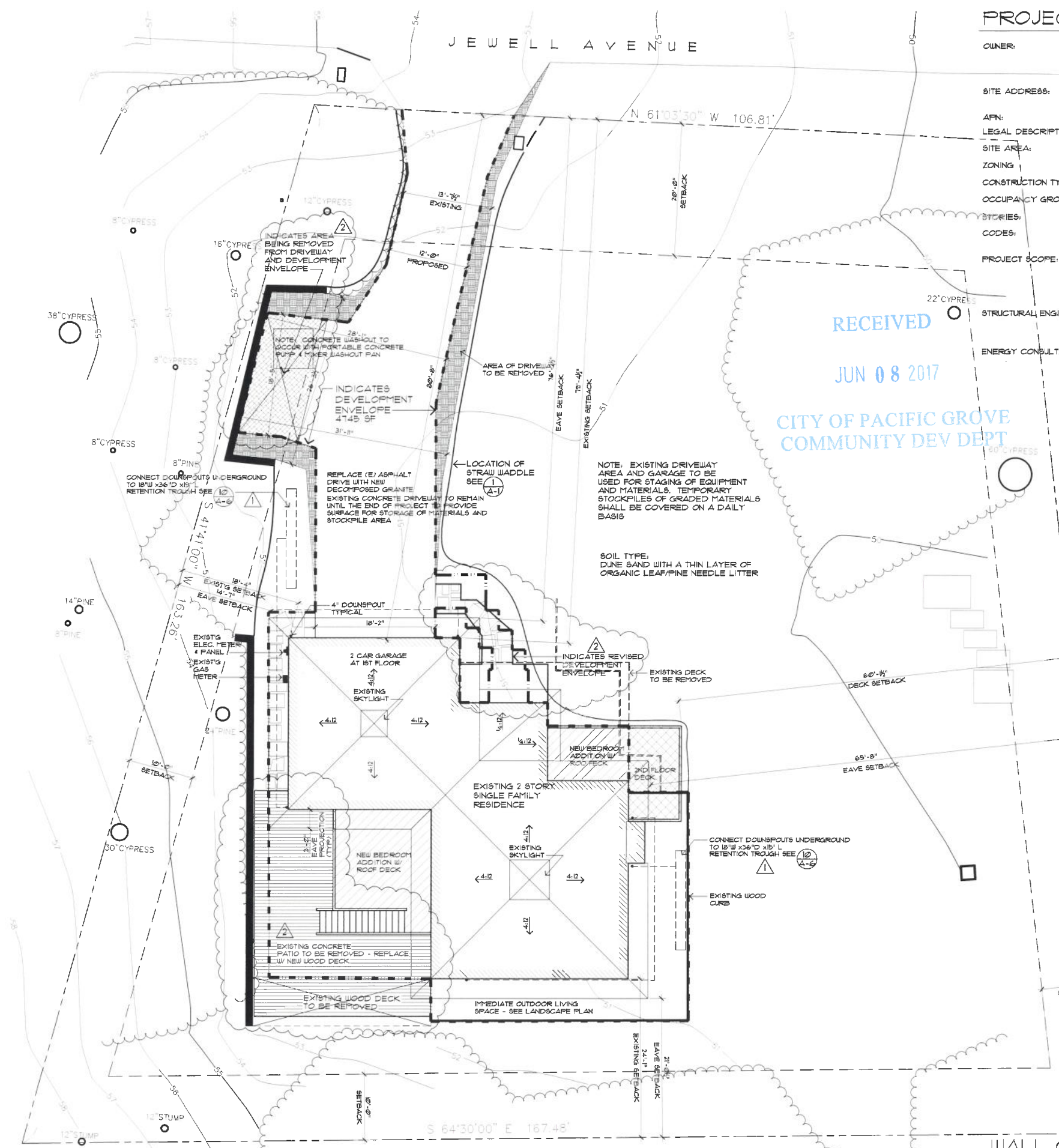
- DURING WINTER OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15) THE FOLLOWING MEASURES MUST BE TAKEN:
- DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
  - RUNOFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
  - DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF PROJECT DURING WINTER OPERATIONS.
  - ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
  - VEGETATION REMOVAL SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE.



### WALL CALCULATIONS

TOTAL LENGTH OF EXISTING EXTERIOR WALL	435.6 LIN. FT.	(52.3%)
TOTAL LENGTH OF EXTERIOR WALL TO BE DEMOLISHED	230.5 LIN. FT.	(52.9%)
TOTAL LENGTH OF NEW EXTERIOR WALLS	228.5 LIN. FT.	(52.5%)
REMODEL INTERIOR OF ENTIRE STRUCTURE	3041.0 SF	(100%)

### VICINITY MAP



### SITE, DRAINAGE & EROSION CONTROL PLAN

1/8" = 1'-0"  
 S 64°30'00" E 167.48'



REVISIONS		
NO.	DATE	OWNER REVISIONS
2	5/24/16	

Item 6a

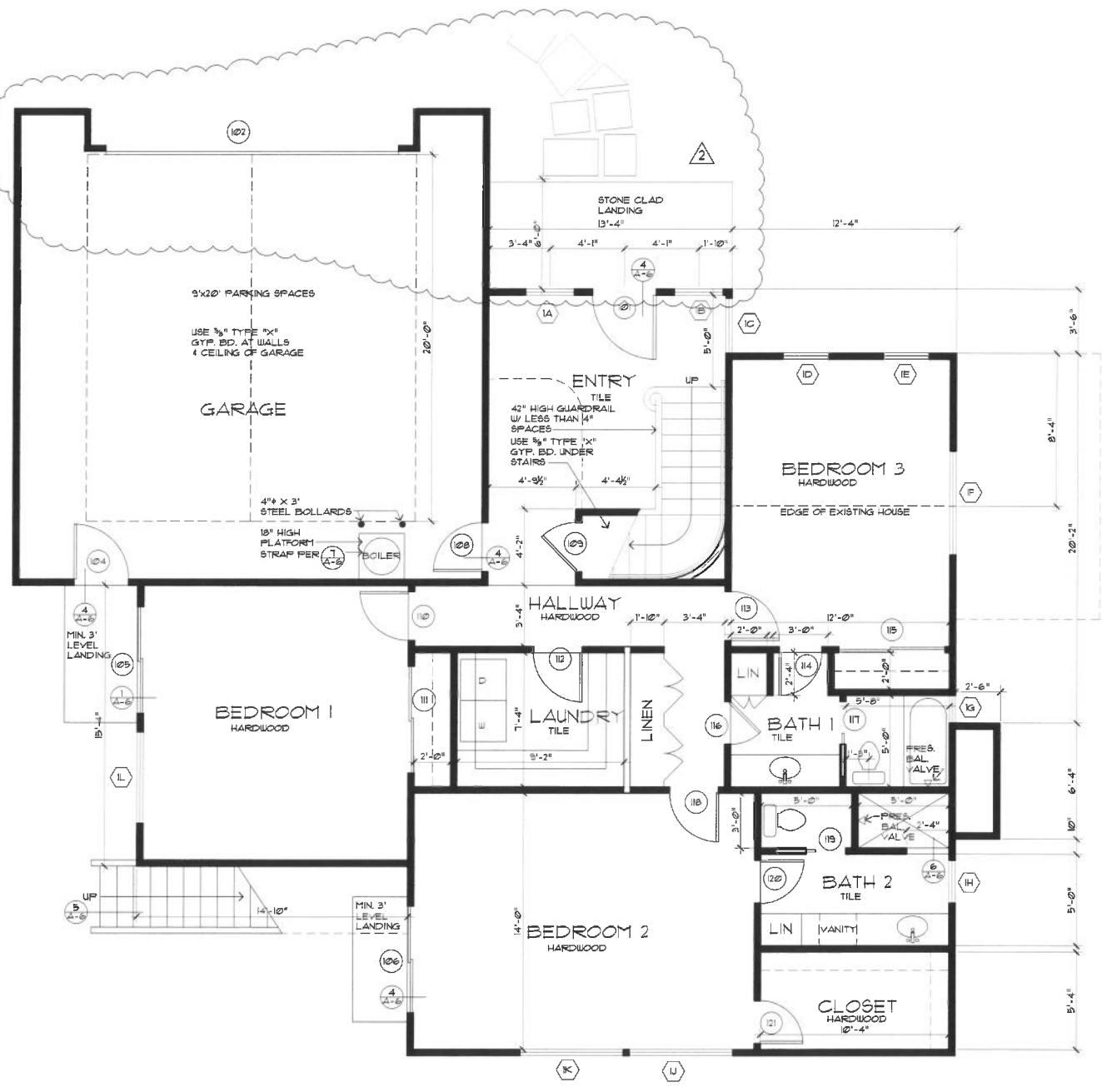
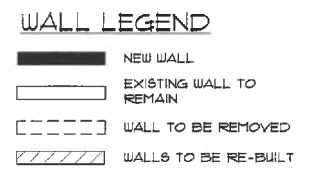
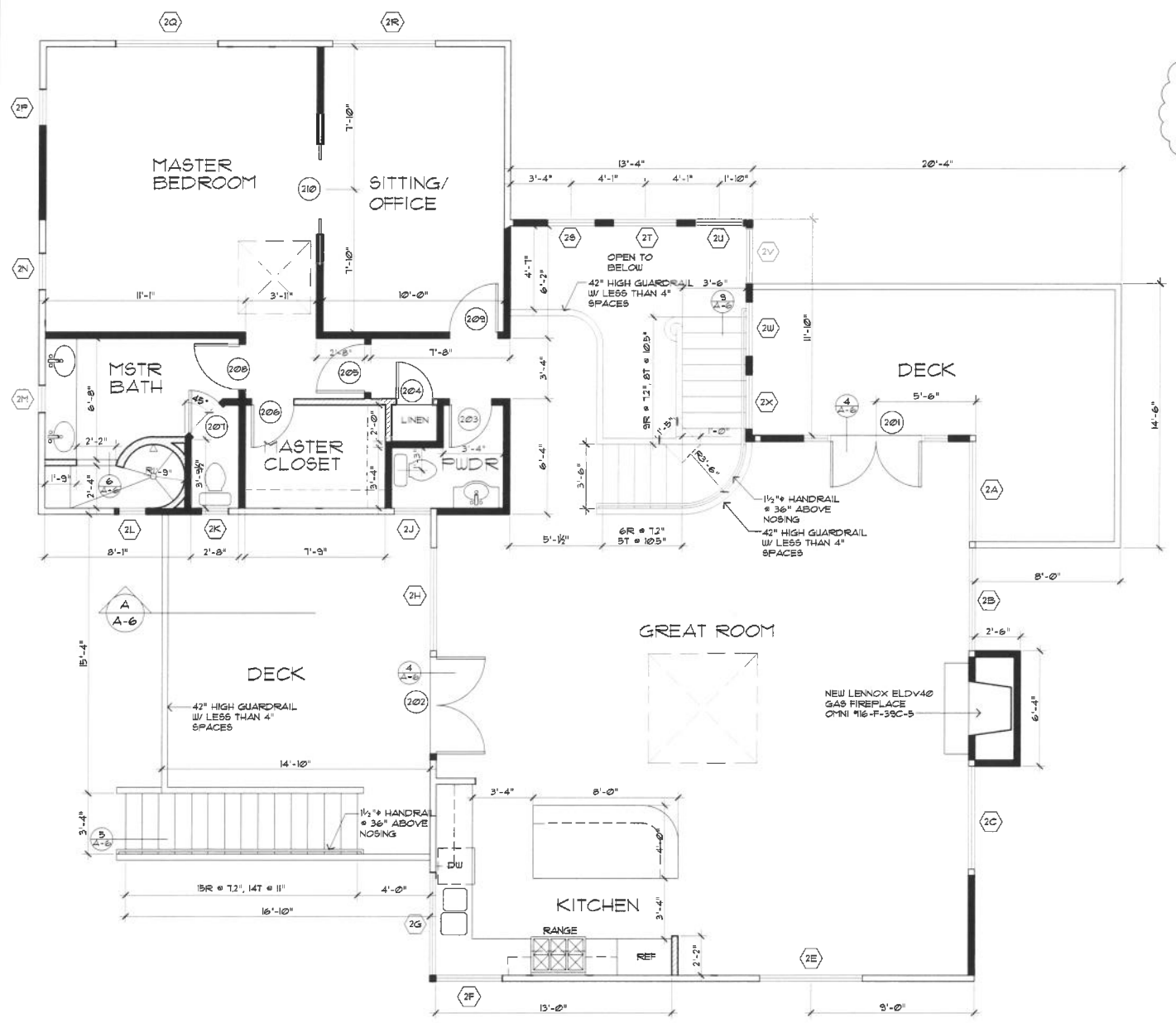
WILLIAM C MEFFORD  
 ARCHITECT  
 P.O. BOX 1072 PACIFIC GROVE, CA 93950  
 (831) 373-4567 LICENSE # C-22883



REMODEL AND ADDITIONS FOR:  
**Mr. & Mrs. Michael Carp**  
 1342 JEWELL AVENUE  
 PACIFIC GROVE, CA  
 APN 007-031-018

DATE: 2/18/2014  
 PROJECT NO. 12011  
 DRAWN BY:  
 CHECKED BY:  
 SHEET TITLE:  
**PROPOSED PLANS**

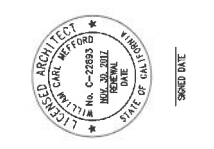
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 OF TEN SHEETS



**FIRST FLOOR PLAN**  
 1/4" = 1'-0"

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1	9/17/14	BLDG. DEPT.
2	5/24/16	OWNER REVISIONS

WILLIAM C MEFFORD  
 ARCHITECT  
 P.O. BOX 1072 PACIFIC GROVE, CA 93950  
 (831) 373-4567 LICENSE # C-22893



REMODEL AND ADDITIONS FOR:  
**Mr. & Mrs. Michael Carp**  
 1342 JEWELL AVENUE  
 PACIFIC GROVE, CA  
 APN 007-031-018

DATE: 2/18/2014  
 PROJECT NO. 12071  
 DRAWN BY:  
 CHECKED BY:  
 SHEET TITLE:  
**EXTERIOR ELEVATIONS**  
 SHEET NO. **A-4**  
 OF TEN SHEETS



**SOUTH - APPROVED**  
 1/4" = 1'-0"



**SOUTH - AS BUILT**  
 1/4" = 1'-0"



**EAST - APPROVED**  
 1/4" = 1'-0"



**EAST - AS BUILT**  
 1/4" = 1'-0"



REVISIONS		
NO.	DATE	BY
1	3/17/14	BLDG. DEPT.
2	5/24/16	OWNER REVISIONS

Item 6a



WEST - APPROVED

1/4" = 1'-0"



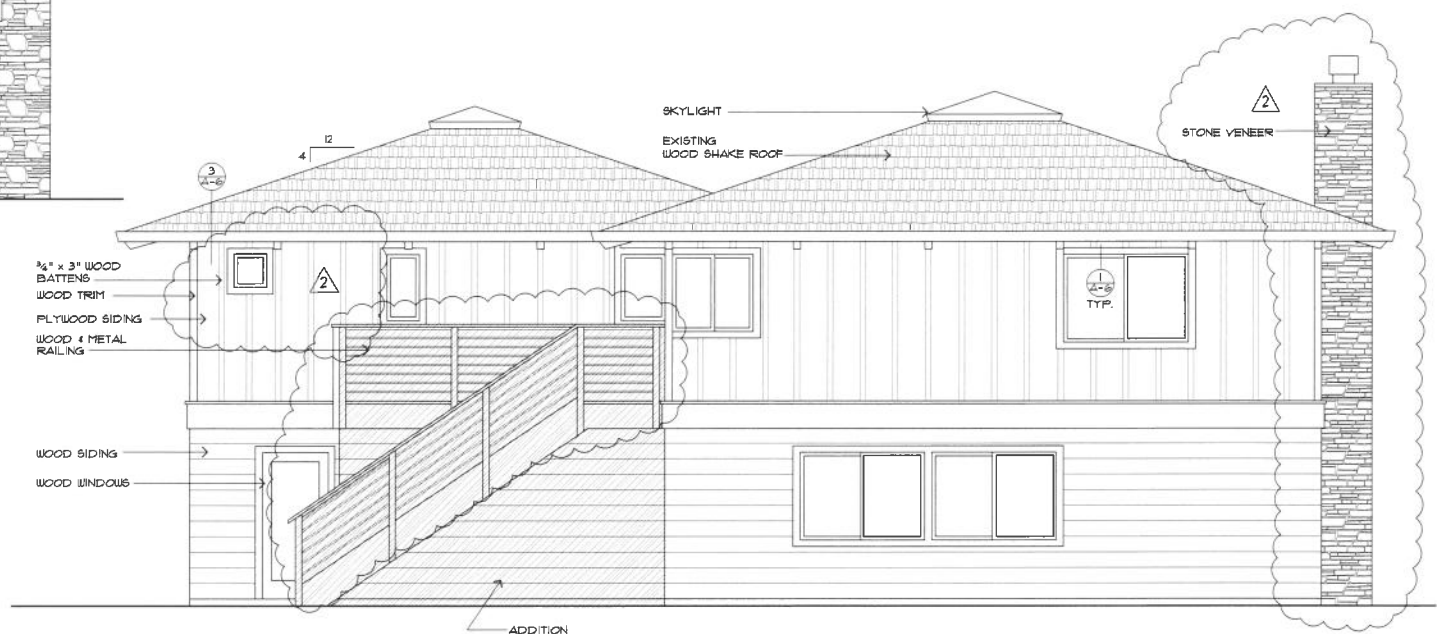
WEST - AS BUILT

1/4" = 1'-0"



NORTH - APPROVED

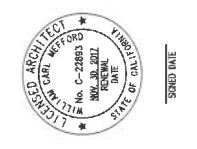
1/4" = 1'-0"



NORTH - PROPOSED

1/4" = 1'-0"

WILLIAM C. MEFFORD  
ARCHITECT  
P.O. BOX 1072 PACIFIC GROVE, CA 93950  
(831) 373-4567 LICENSE # C-22893

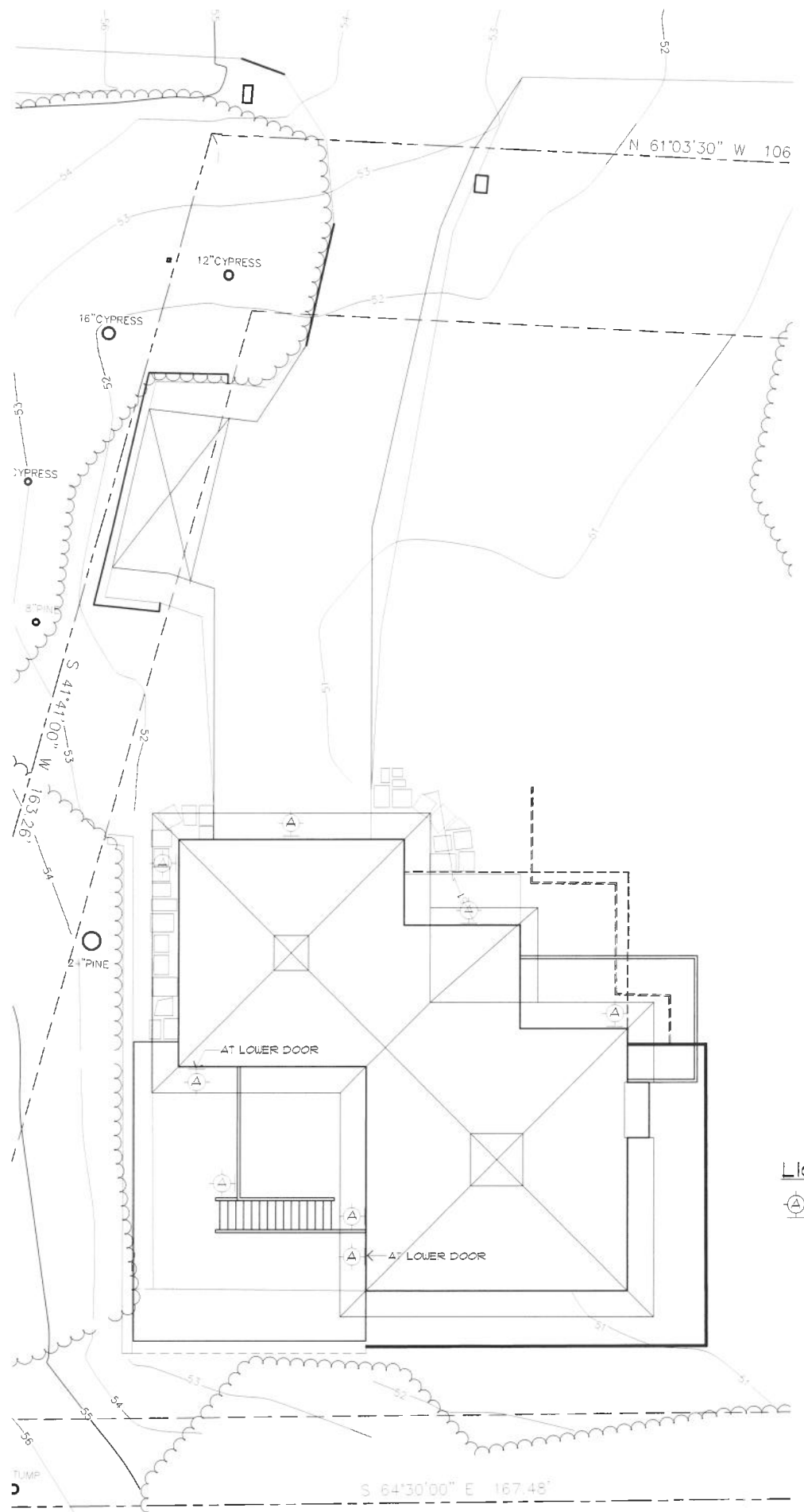


REMODEL AND ADDITIONS FOR:  
**Mr. & Mrs. Michael Carp**  
1342 JEWELL AVENUE  
PACIFIC GROVE, CA  
AFN 001-031-018

DATE: 2/18/2014  
PROJECT NO. 12017  
DRAWN BY:  
CHECKED BY:  
SHEET TITLE:  
**EXTERIOR ELEVATIONS**  
SHEET NO. **A-5**  
OF TEN SHEETS

REVISIONS	
NO.	DATE
2	5/24/16
OWNER REVISIONS	

Item 6a

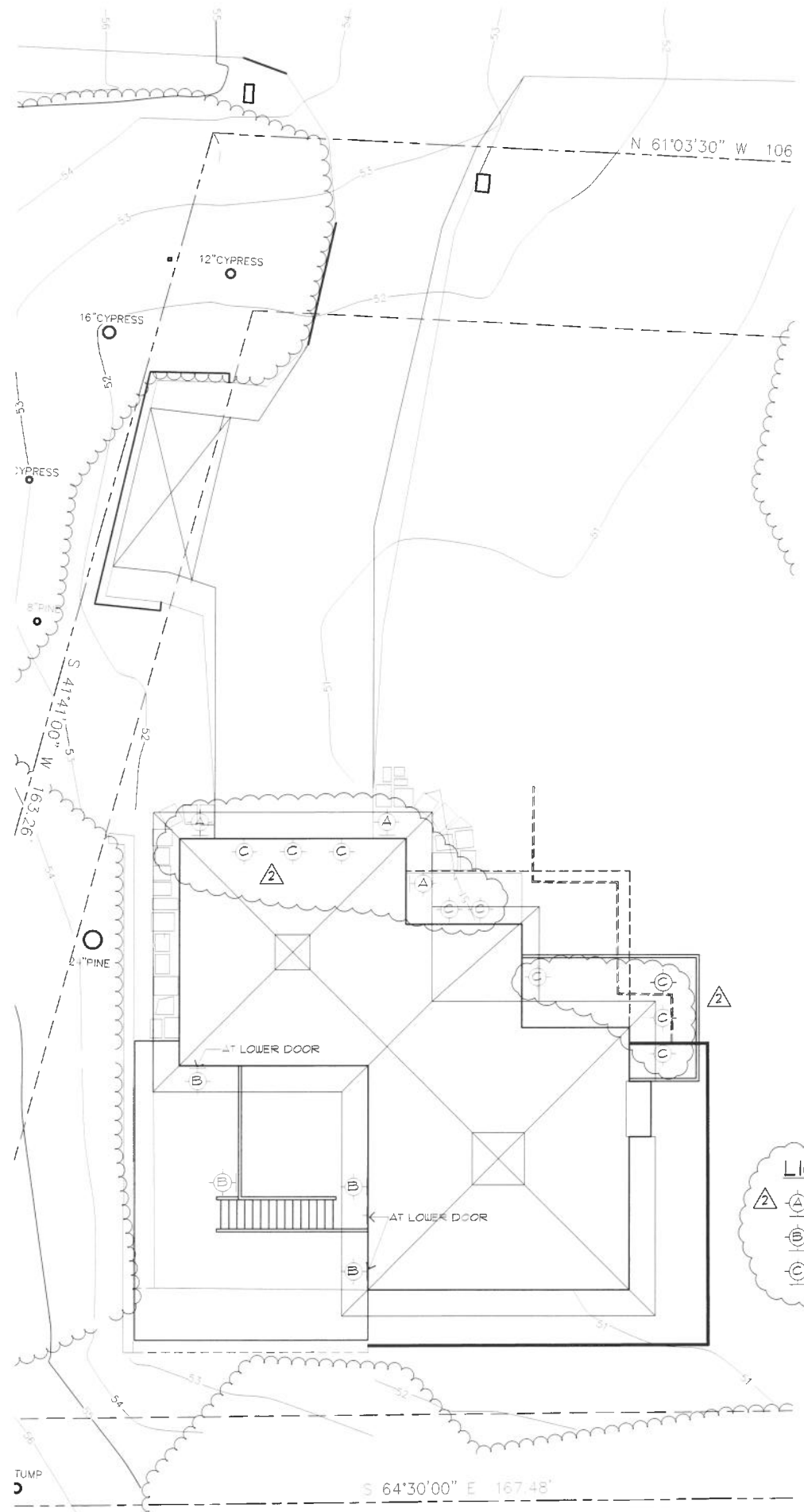


**LIGHTING LEGEND**

- (A) DESIGN HOUSE - MONTEREY  
1 - 60W A19 BULB

**APPROVED SITE LIGHTING PLAN**

1/8" = 1'-0"



**LIGHTING LEGEND**

- (A) HINKLEY 1834B2-LED  
1 - 15W LED BULB
- (B) KICHLER 480580Z  
1 - 40W R14 BULB
- (C) RECESSED CAN LIGHT  
1 - 50W MR16 BULB

**AS-BUILT SITE LIGHTING PLAN**

1/8" = 1'-0"



**WILLIAM C MEFFORD**  
ARCHITECT

P.O. BOX 1072 PACIFIC GROVE, CA 93950  
(831) 373-4567 LICENSE # C-22883



REMODEL AND ADDITIONS FOR:

**Mr. & Mrs. Michael Carp**  
1342 JEWELL AVENUE  
PACIFIC GROVE, CA  
AFN 007-031-018

DATE:	2/18/2014
PROJECT NO.	12011
DRAWN BY:	
CHECKED BY:	
SHEET TITLE:	SITE LIGHTING PLAN
SHEET NO.	SL-1
OF TEN SHEETS	

W I L L I A M C M E F F O R D

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A R C H I T E C T



Exterior Colors  
for  
1342 Jewell Avenue, Pacific Grove

Roof –  
Existing Wood Shake



Copper Gutters & Downspouts



Wood Siding & Trim  
White washed Redwood



Aluminum Clad Windows  
Sierra Pacific Gull Gray



Stone - Dry Stacked  
Laurel Cavern Ledge Stone





# CASEMENT WINDOWS



Case ment Windows

## Case ment Standard Features

6 industry-leading color collections, including 35 Heritage Collection Standard finishes, 4 Heritage Collection textured finishes, 6 Weathered Collection finishes, 5 Metallic and 5 Pearl Metallic Collection finishes, 3 Anodized Collection finishes, 2 Industrial Series finishes and Custom Colors. Finishes meet AAMA 2604 specifications. AAMA 2605 finishes are available upon request. Multiple exterior clad colors can be used in single units to suit any architectural or aesthetic design.

### Glazing

9 Available in single or double pane configurations with double strength glass. Triple pane units are available in 2 1/4" Designer (Wide) sash in some sizes. Insulated units are 3/4" overall, separated by 1/2" TrueWARM® Edge structural silicone foam spacer from Quanex. All standard types of glass are available - from LoE to tints to specialty glazings - as is the capillary tube system for high altitude. The glass is dual bedded with a structural sealant and secured in the sash with a removable interior glazing bead.

6 A continuous extruded aluminum nailing flange is an integral part of the frame extrusion - stout and watertight.

7 The mitred corners of the nailing flange are sealed with factory-applied, butyl corner pads.

A factory-applied, extruded aluminum drip cap in matching color is standard with all products.

### Wood Exterior

8 Exterior surfaces are available with either a factory-applied latex primer or in a clear Ponderosa Pine or Douglas Fir. All units with exterior trim (brickmould, succion brickmould or S45) feature

### Sash and Frame Interior

1 Sash and frame components are manufactured from kiln-dried, preservative-treated Ponderosa Pine, Douglas Fir or other species by request in unfinished clear wood ready to prep for stain or paint.

2 An optional factory-applied interior prime coat is available. Douglas Fir interiors are available with an optional distressed finish. The 1 3/4" thick sash is available in two widths for aluminum clad product: 1 1/2" standard or 2 1/4" Designer (Wide) sash.

3 Wood exterior casements feature 2 1/4" Designer (Wide) sash only.

4 All sash corners have mortise and tenon joints that are sealed and screwed.

### Aluminum Clad Exterior

5 Exterior surfaces of both sash and frame are clad with .062" extruded aluminum (one of the thickest on the market) available in a palette of 60 colors in

### Hardware

10 Truth Encore hardware is standard and features a low profile folding handle with nesting cover. A hinge arm shoe is used in conjunction with a track that is an integral part of the frame extrusion for increased strength and durability.

Sash locks and crank handles are high-pressure, die-cast zinc available in standard finishes (white, copper-tone, black, bronze, chestnut bronze, ORB, satin nickel or brushed chrome), as well as a variety of optional finishes.

11 All units 40" and taller have two sash locks. Concealed snubbers are applied on the hinge side opposite all sash locks for enhanced security. The roto operator has hardened steel gears and operator arm. The casement opens to 90 degrees to allow easy cleaning or removal of sash from inside. A stainless steel hardware package is available for coastal applications.

### Weatherstrip

Case ment units feature two weatherstrips. 12 The compression-style frame weatherstrip is composed of closed cell foam, encapsulated in a seamless elastomeric skin. It makes contact with two sides of the sash and has superior memory properties.

13 The leaf weatherstrip at the sash consists of a rigid base made from a 5%



glass-filled polypropylene that reduces expansion and contraction to maintain form and flexibility.

### Screens

14 Screens are constructed of an aluminum frame and charcoal fiberglass cloth (18 x 16 mesh). BetterVue and UltraVue screen mesh also available. The frame color matches the hardware color when possible and screens are spring-loaded for easy removal.

### Sash Locks



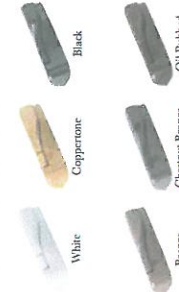
### Screens



### Crank Handles and Operator Covers



### Standard Hardware Finishes



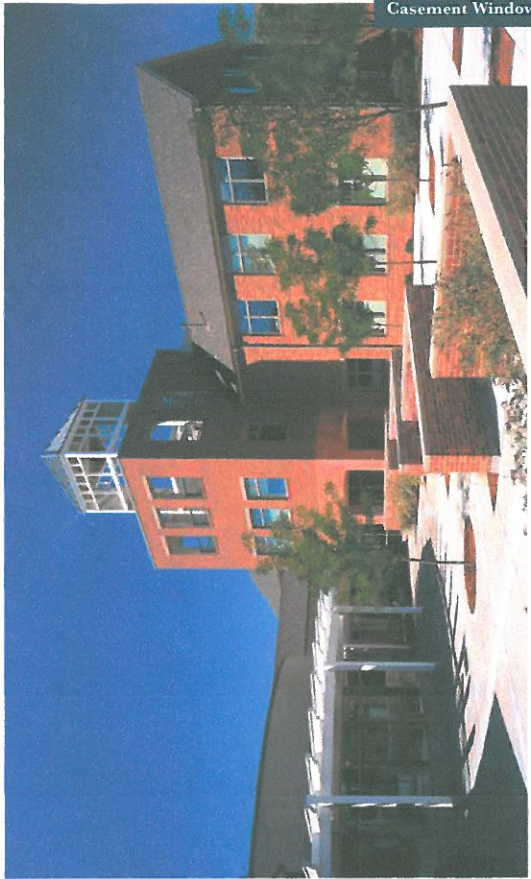
### Optional Hardware Finishes\*



\* Upcharge and Additional Lead Time Will Apply. Finishes shown are representative only. For an actual color sample please contact your Sierra Pacific Windows Sales Representative.



# CASEMENT WINDOWS

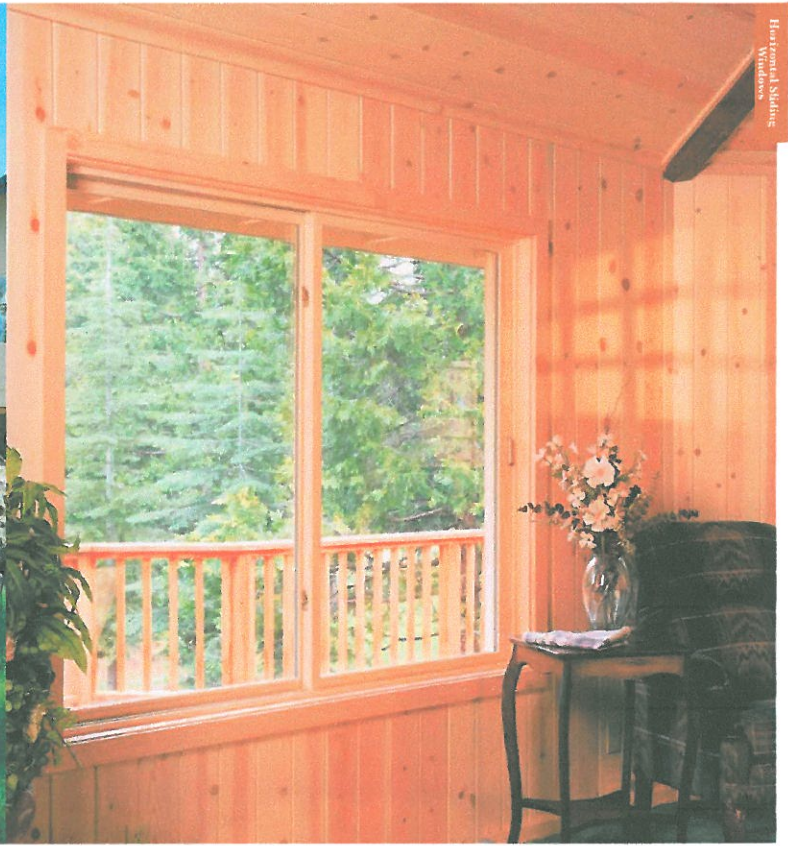
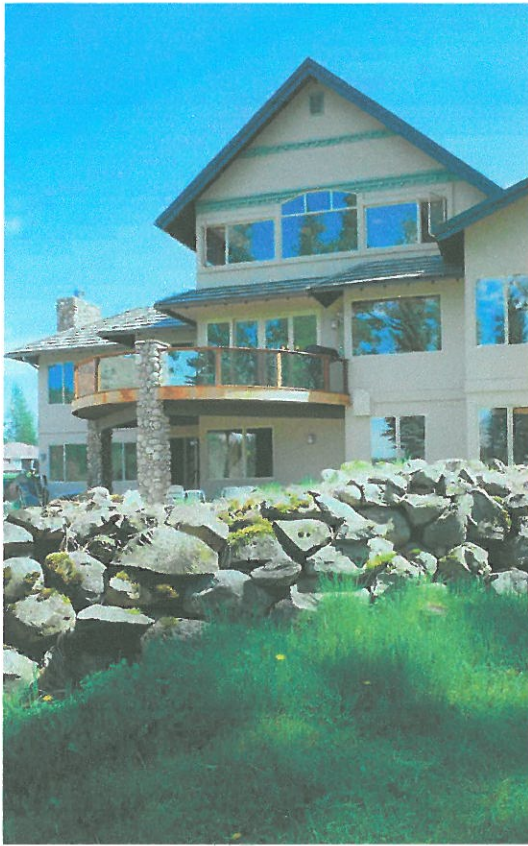




Sierra Pacific's sliding window is a space saving alternative to a two-wide casement window, because the operable sash slides in the plane of the frame rather than opening outward. The sliding window provides a good solution for areas where your walkways are snug against your home leaving little or no space for windows that project outward.

Love your backyard barbecues? Simply remove the screen and our sliding window provides the convenience of a pass-through from the prep area in the kitchen to the outdoor entertainment area.

The Sierra Pacific sliding window will complement your contemporary design and is available in many standard size and configuration options.



Horizontal Sliding Windows

Horizontal Sliding Windows

## HORIZONTAL SLIDING WINDOWS

### Horizontal Sliding Window Standard Features

#### Sash and Frame Interior

1 Sash and frame components for the aluminum clad exterior Horizontal Sliding Window are manufactured from kiln-dried, preservative-treated Ponderosa Pine, Douglas Fir or other species by request. Interiors are available unfinished, clear and ready to prep for stain or paint. An optional factory-applied interior prime coat is available. Douglas Fir interiors are also available in a distressed finish.

2 All Horizontal Sliding Window sash are a full 1 1/2" thickness.

3 All sash corners have mortise and tenon joints that are sealed and screwed.

#### Aluminum Clad Exterior

4 Exterior surfaces of both sash and frame are clad with .062" extruded aluminum (one of the thickest on the market) available in a palette of 60 colors in 6 industry-leading color collections, including 35 Heritage Collection Standard finishes, 4 Heritage Collection Textured finishes, 6 Weathered Collection finishes, 5 Metallic and 5 Pearl Metallic Collection finishes, 3 Anodized Collection finishes, 2 Industrial Series finishes and Custom Colors. Finishes meet AAMA 2604 specifications. AAMA 2605 finishes are available upon request. Multiple exterior clad colors can be used in single units to suit any architectural or aesthetic design.

5 Extruded aluminum frame corners are sealed with silicone and pads and secured with screws.

6 A continuous extruded aluminum nailing flange is an integral part of the frame extrusion - stout and watertight.

7 The mitred corners of the nailing flange are sealed with factory-applied, butyl corner pads.

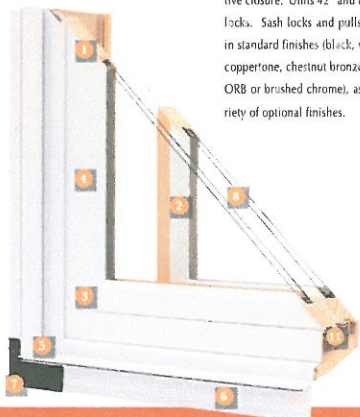
8 A factory-applied, extruded aluminum drip cap in matching color is standard with all products.

#### Glazing

9 Available in single or double pane configurations with double strength glass. Insulated units are 3/4" overall, separated by 1/2" TrueWARM® Edge structural silicone foam spacer from Quanex. All standard types of glass are available - from LoE to tints to specialty glazings - as is the capillary tube system for high altitude. The glass is dual bedded with a structural sealant and secured in the sash with a removable interior glazing bead.

#### Hardware

10 Flush-mounted, cam-style sash locks are factory applied for security and positive closure. Units 42" and taller have two locks. Sash locks and pulls are available in standard finishes (black, white, bronze, copper-tone, chestnut bronze, satin nickel, ORB or brushed chrome), as well as a variety of optional finishes.



#### Rollers

Needle-bearing rollers provide smooth, easy operation.

11 A sash pull is mounted on the sliding sash for ease of operation.

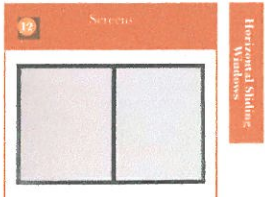
#### Weatherstrip

12 The sill track and headliner are beige. The weatherstrip is made of closed-cell foam, encapsulated in a seamless elastomeric skin for added performance and smooth operation. A vinyl parting stop on the side jamb interfaces with a vinyl-

wrapped foam-filled bulb on the sash stile to ensure a tight seal. The sash weatherstrip at the checkrail is a foam-filled bulb.

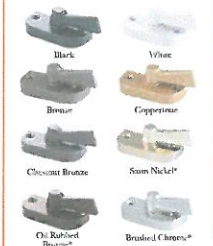
#### Screens

13 Screens are constructed with an aluminum frame and charcoal fiberglass cloth (18 x 16 mesh). BetterVue and UltraVue screen mesh also available. The screen frame is installed in a channel on the exterior frame extrusion of the window and is held in place with spring-loaded plungers. The color matches the exterior clad color.



#### Sash Locks Hardware Finish Options

##### Standard Hardware Finishes



\* Standard Lead Time - Expedite Will Apply

##### Optional Hardware Finishes\*



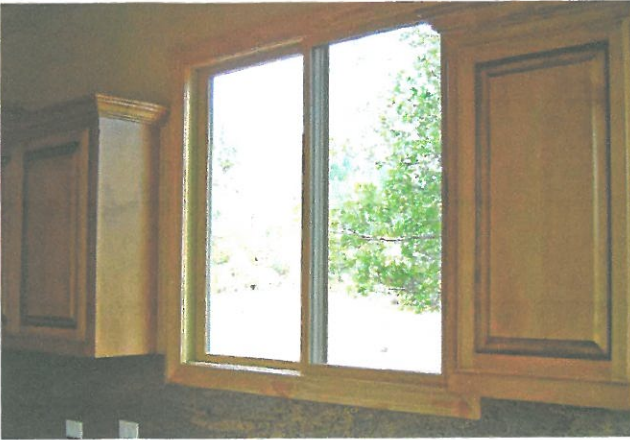
\* Upgrade and Additional Lead Time Will Apply. Finishes shown are representative only. For an exact color sample, please contact your local Sierra Pacific Windows sales representative.

Horizontal Sliding Windows

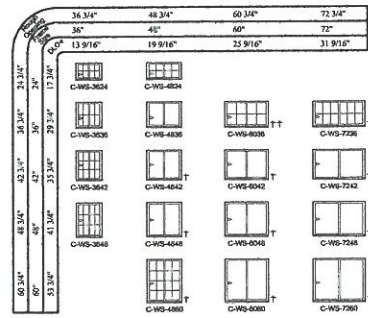
Horizontal Sliding Windows



Horizontal Sliding Windows



### CLAD HORIZONTAL SLIDING WINDOW SIZES (XO / OX)

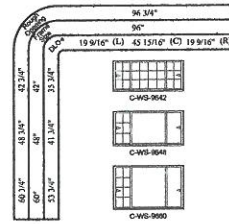


**Clad Horizontal Sliding Window Formulas**  
 (using outside of brickmould and sill nose)  
**Brickmould (Width)** = Frame Width + 3"  
**Brickmould (Height)** = Frame Height + 2 1/4"  
**Masonry Opening (Width)** = Frame Width + 3 1/2"  
**Masonry Opening (Height)** = Frame Height + 2 3/4"  
 (masonry opening formulas pertain to units with brickmould)

**CALLOUTS**  
 Clad Slider: C-WS

**NOTES:**  
 Additional sizes are available in 1/16" increments. Contact your SPW representative for more information. Use structural sillfinns when necessary or required by code.  
 Local codes may differ. Verify egress conformance and tempered glass requirements with your local building code official.  
 Units 42" and taller have two sash locks. Some local codes restrict the number of insions allowed to open an egress window. Verify conformance.  
 †These units conform to UBC egress requirements in standard 6'-10 1/2" header applications.  
 ††This unit conforms to UBC egress requirements only when installed to a maximum sill height of 44" off the finished floor.

### CLAD HORIZONTAL SLIDING WINDOW SIZES (XOX)



•DLO – Daylight Opening  
 Horizontal DLO is the same for both sash in XO and OX units.  
 Standard XO venting operation above. OX units are also available.  
 (R) Right sash.  
 (C) Center sash.  
 (L) Left sash.

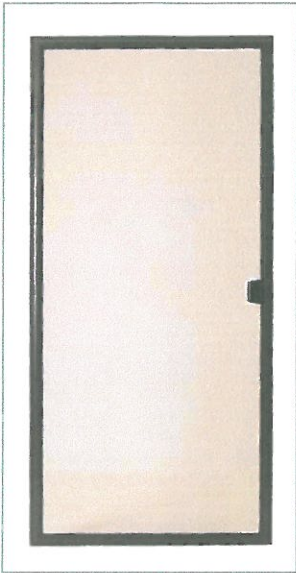
Scale: 3/32" = 1'-0"

Horizontal Sliding Windows



Screens

Exterior screens are constructed with an aluminum frame finished in colors to match the exterior clad color for clad units. Wood unit choices consist of white, bronze or black finishes. Screen is made of 18 X 16 mesh, charcoal tone fiberglass. BetterVue and UltraVue screen mesh also available.

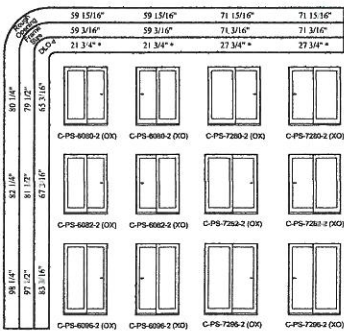


Patio Sliding Door

Patio Sliding Door

PATIO SLIDING DOOR

PATIO SLIDING DOOR SIZES



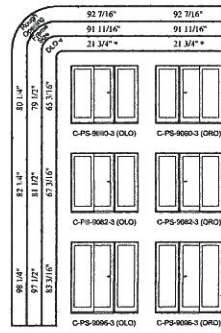
**Clad Patio Sliding Door Formulas**  
 (using extended brickmould)  
 Brickmould (Width) = Frame Width + 3"  
 Brickmould (Height) = Frame Height + 1 1/2"  
 Masonry Opening (Width) = Frame Width + 3 1/2"  
 Masonry Opening (Height) = Frame Height + 1 3/4"  
 (masonry opening formulas pertain to units with brickmould)

**Wood Patio Sliding Door Formulas**  
 Brickmould (Width) = Frame Width + 2 7/8"  
 Brickmould (Height) = Frame Height + 1 7/16"  
 Masonry Opening (Width) = Frame Width + 3 3/8"  
 Masonry Opening (Height) = Frame Height + 1 11/16"  
 (masonry opening formulas pertain to units with brickmould)

**CALLOUTS**  
 Clad Patio Sliding Door: C-PS  
 Clad Patio Sliding Door Sidelite: C-PS-S  
 Wood Patio Sliding Door: PS  
 Wood Patio Sliding Door Sidelite: PS-S

**Notes:**  
 Additional sizes are available in 1/16" increments. Contact your SPW representative for more information. The line patterns illustrated apply to standard rectangular similes.  
 Use structural mullions when necessary or required by code.  
 \*DLO = Daylight Opening  
 \*Horizontal DLO is the same for each panel.

PATIO SLIDING DOOR SIZES



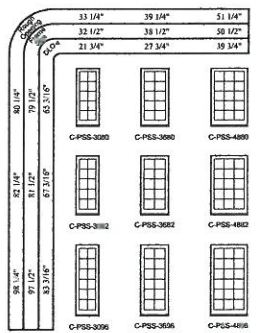
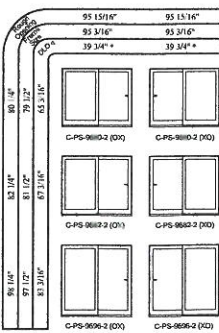
**Clad Patio Sliding Door Formulas**  
 (using extended brickmould)  
 Brickmould (Width) = Frame Width + 3"  
 Brickmould (Height) = Frame Height + 1 1/2"  
 Masonry Opening (Width) = Frame Width + 3 1/2"  
 Masonry Opening (Height) = Frame Height + 1 3/4"  
 (masonry opening formulas pertain to units with brickmould)

**Wood Patio Sliding Door Formulas**  
 Brickmould (Width) = Frame Width + 2 7/8"  
 Brickmould (Height) = Frame Height + 1 7/16"  
 Masonry Opening (Width) = Frame Width + 3 3/8"  
 Masonry Opening (Height) = Frame Height + 1 11/16"  
 (masonry opening formulas pertain to units with brickmould)

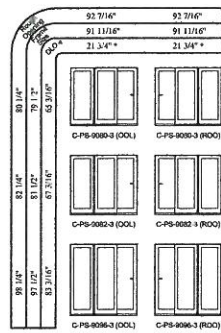
**CALLOUTS**  
 Clad Patio Sliding Door: C-PS  
 Wood Patio Sliding Door: PS

**Notes:**  
 Additional sizes are available in 1/16" increments. Contact your SPW representative for more information. The line patterns illustrated apply to standard rectangular similes.  
 Use structural mullions when necessary or required by code.  
 \*DLO = Daylight Opening  
 \*Horizontal DLO is the same for each panel.

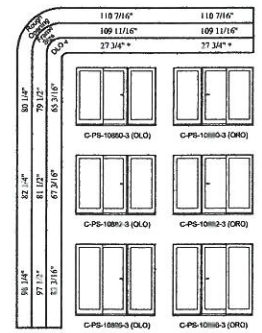
PATIO SLIDING DOOR SIDELITE SIZES



Scale: 3/32" = 1'-0"



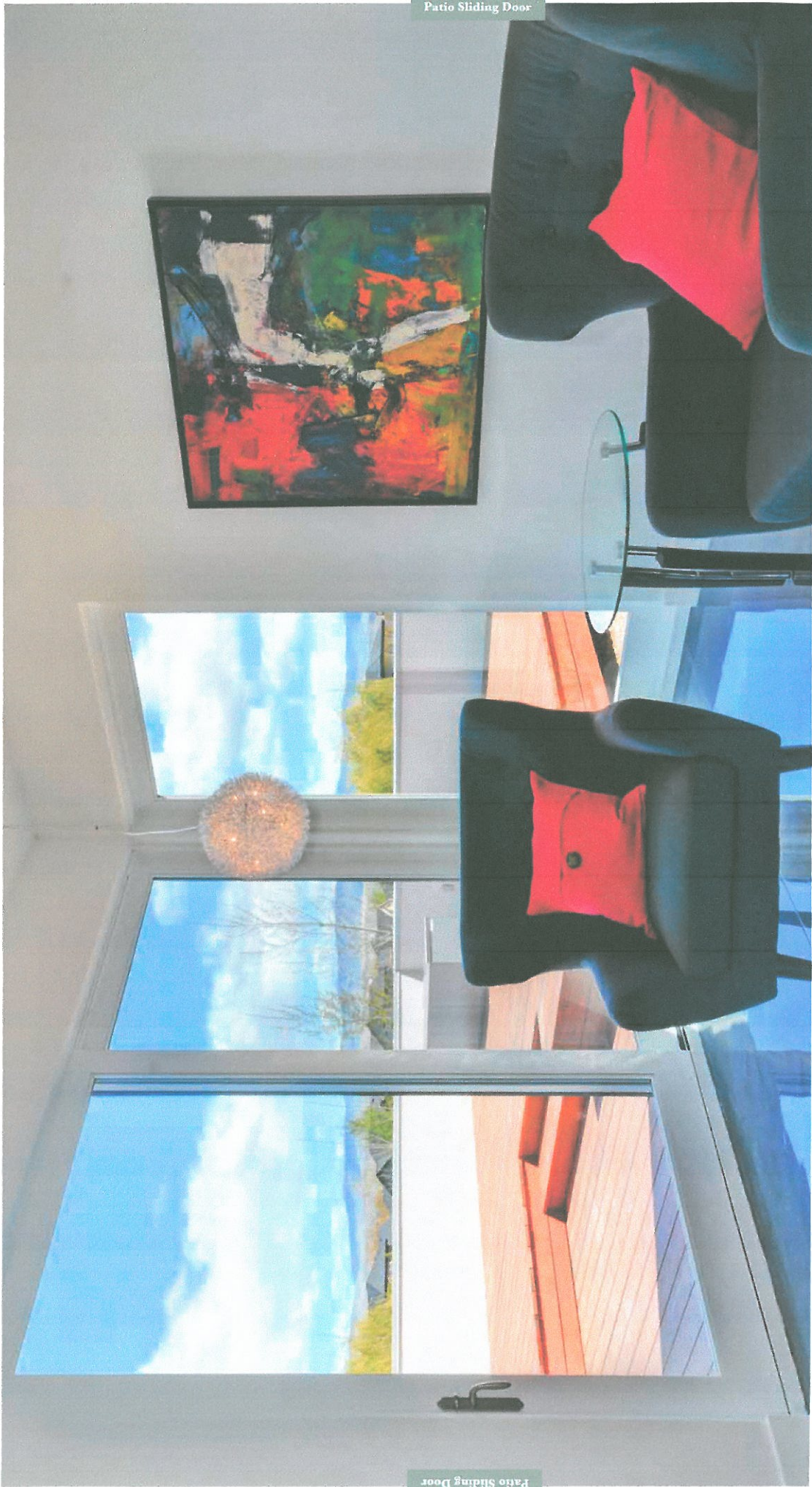
Scale: 3/32" = 1'-0"



Patio Sliding Door



PATIO SLIDING DOOR



Patio Sliding Door

Patio Sliding Door



# MONTEREY Darksky Light

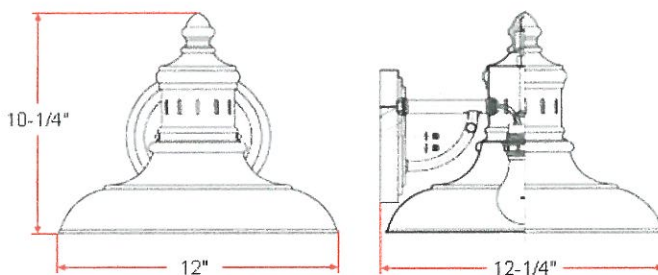
## Specifications

<b>Material Construction:</b>	Formed Steel
<b>Lens:</b>	N/A
<b>Lamp Type &amp; Wattage:</b>	One 60W, medium base incandescent lamp
<b>Mounting:</b>	Wall mounted
<b>Finish:</b>	Oil Rubbed Bronze (US10B)
<b>Voltage:</b>	120V
<b>Weight:</b>	2.64 lbs



## Dimensions

TYPE "A"



## Warranty & Compliances

<b>Warranty</b>	10 Year Limited Warranty
<b>UL</b>	UL/cUL; Suitable for damp locations
<b>ADA</b>	N/A
<b>EnergyStar</b>	N/A



## Order Code

Darksky Light      516732     

Type:
Job:
Order Code:
Approvals:

1342 JEWELL AVE

Design House reserves the right to make changes in materials, specifications & models at any time. Design House also reserves the right to discontinue product without notice or obligation.